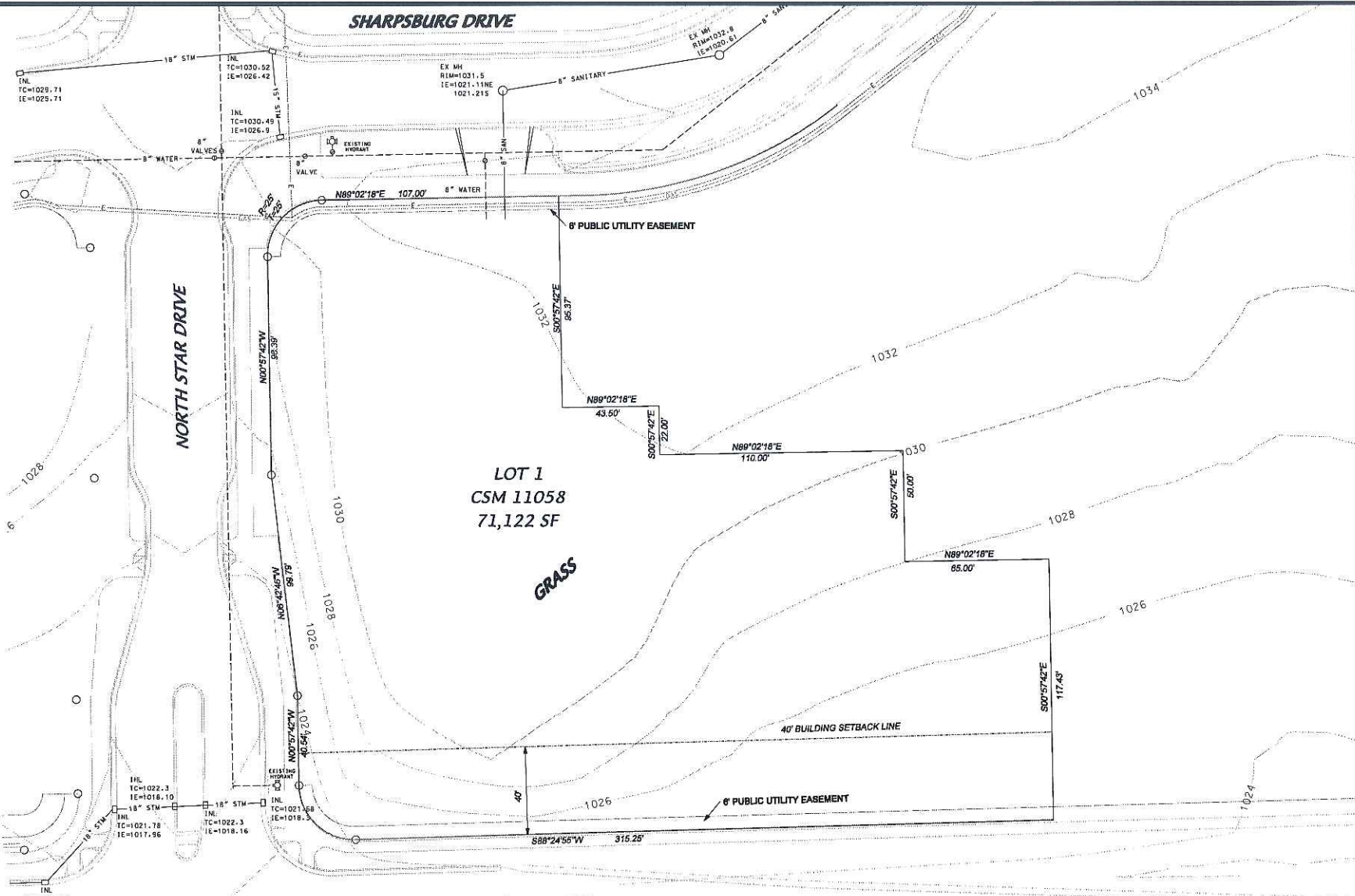




# Grandview Commons Town Center

*Madison, Wisconsin*





LOT 1  
CSM 11058  
71,122 SF

GRASS

COTTAGE GROVE ROAD (C.T.H. BB)



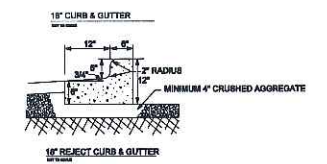
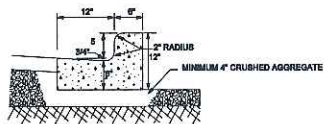
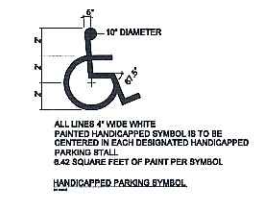
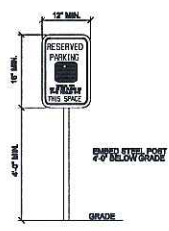
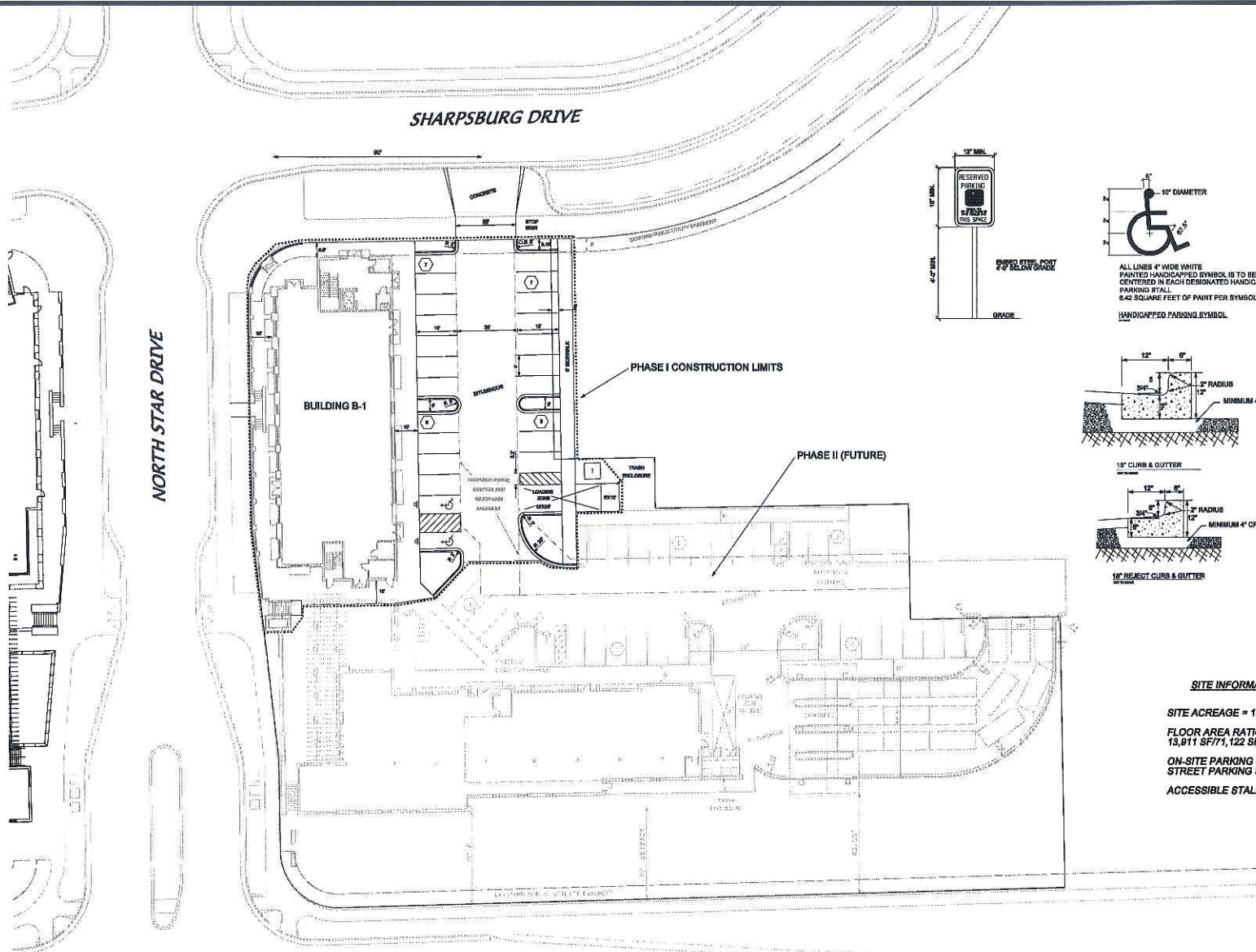
DATE: 05-10-06  
REV:  
FN: 06-05-129

EXISTING SITE  
GRANDVIEW COMMONS - BUILDING B-1

5001 SHARPSBURG DRIVE  
MADISON, WISCONSIN 53718



C 100

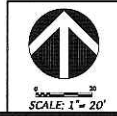


**SITE INFORMATION**

SITE ACREAGE = 1.63 ACRES  
 FLOOR AREA RATIO = 0.20  
 13,911 SF/71,122 SF

ON-SITE PARKING STALLS = 23  
 STREET PARKING STALLS = 6  
 ACCESSIBLE STALLS = 2

COTTAGE GROVE ROAD (C.T.H. BB)



DATE: 05-10-06  
 REV:  
 FN: 06-05-129

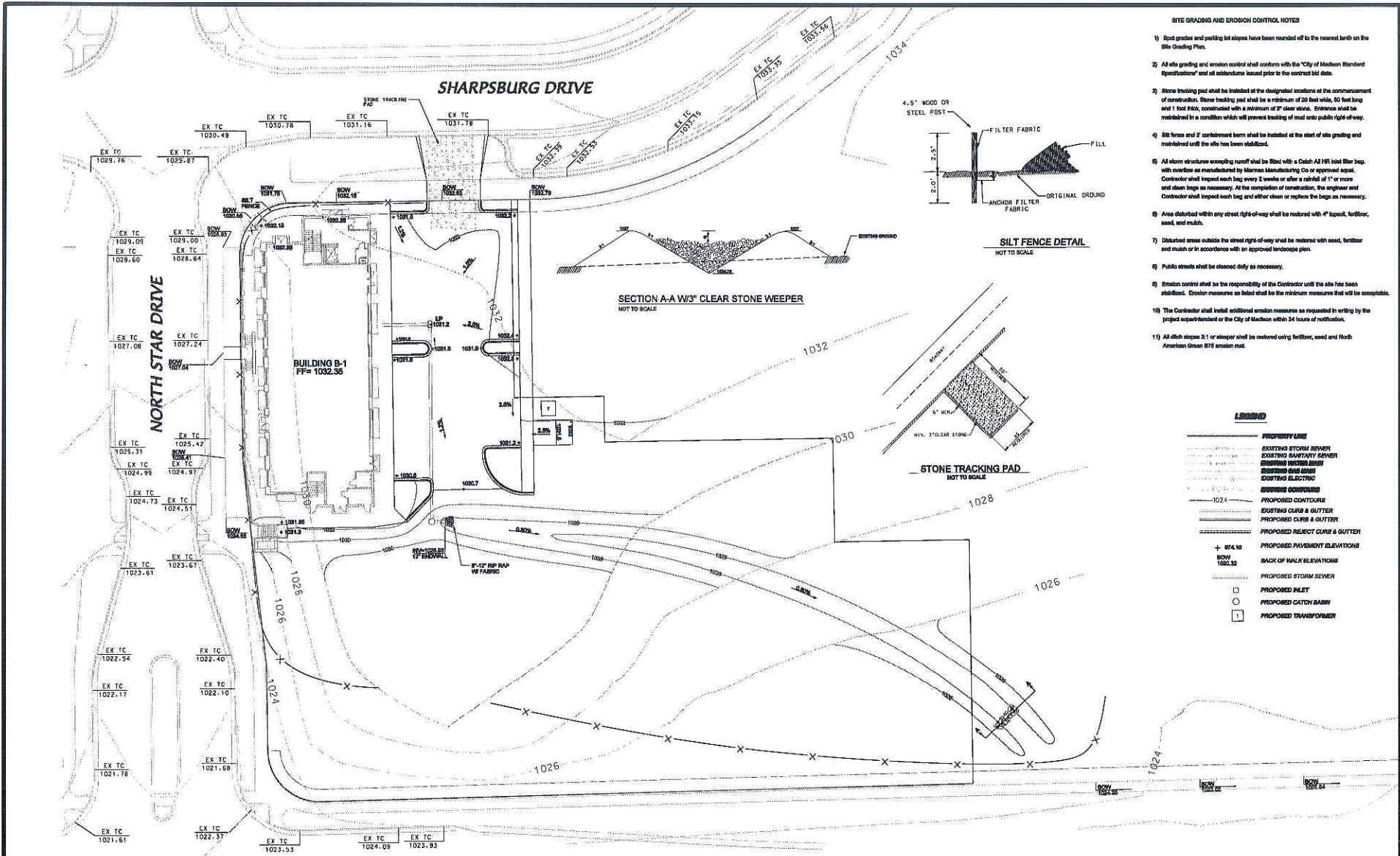
**SITE PLAN**  
**GRANDVIEW COMMONS - BUILDING B-1**

6801 SHARPSBURG DRIVE  
 MADISON, WISCONSIN 53718

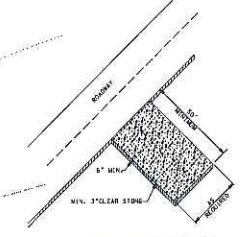
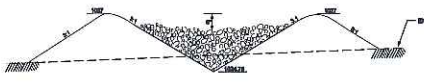
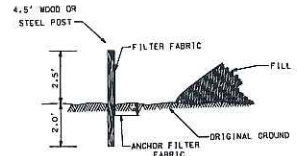


**C 101**





- SITE GRADING AND EROSION CONTROL NOTES**
- 1) Spot grades and parking lot slopes have been rounded off to the nearest tenth on the Site Grading Plan.
  - 2) All site grading and erosion control shall conform with the "City of Madison Standard Specifications" and all addendums issued prior to the contract bid date.
  - 3) Stone tracking pad shall be installed at the designated locations at the commencement of construction. Stone tracking pad shall be a minimum of 20 feet wide, 50 feet long and 1 foot thick, constructed with a minimum of 2" clear stone. Endrun shall be maintained in a condition which will prevent tracking of mud onto public right-of-way.
  - 4) Silt fences and 2' containment berm shall be installed at the start of site grading and maintained until the site has been stabilized.
  - 5) All storm structures exceeding runoff shall be lined with a Catch All HPI silt filter bag, with overflow as manufactured by Mirman Manufacturing Co or approved equal. Contractor shall inspect each bag every 2 weeks or after a rainfall of 1" or more and clean bags as necessary. At the completion of construction, the engineer and Contractor shall inspect each bag and either clean or replace the bags as necessary.
  - 6) Area disturbed within any street right-of-way shall be restored with 4" topsoil, fertilizer, seed, and mulch.
  - 7) Disturbed areas outside the street right-of-way shall be restored with seed, fertilizer and mulch or in accordance with an approved landscape plan.
  - 8) Public streets shall be cleaned daily as necessary.
  - 9) Erosion control shall be the responsibility of the Contractor until the site has been stabilized. Erosion measures so listed shall be the minimum measures that will be acceptable.
  - 10) The Contractor shall install additional erosion measures as requested in writing by the project superintendent or the City of Madison within 24 hours of notification.
  - 11) All ditch slopes 3:1 or steeper shall be restored using fertilizer, seed and North American Green 875 erosion mat.




**LEGEND**

SYMBOL	DESCRIPTION
---	PROPERTY LINE
---	EXISTING STORM SEWER
---	EXISTING SANITARY SEWER
---	EXISTING UTILITY BASIN
---	EXISTING AND MAINT
---	EXISTING ELECTRIC
---	EROSION CONTOURS
---	PROPOSED CONTOURS
---	EXISTING CURB & GUTTER
---	PROPOSED CURB & GUTTER
---	PROPOSED INLET CURB & GUTTER
---	PROPOSED PAVEMENT ELEVATIONS
+ B74.10	BACK OF WALK ELEVATIONS
BOW 1000.32	PROPOSED STORM SEWER
□	PROPOSED INLET
○	PROPOSED CATCH BASIN
□	PROPOSED TRANSFORMER

**COTTAGE GROVE ROAD (C.T.H. BB)**

  
 DATE: 05-10-06  
 REV:  
 SCALE: 1" = 20'  
 FN: 06-05-129

SITE GRADING AND EROSION CONTROL PLAN  
**GRANDVIEW COMMONS - BUILDING B-1**  
 5901 SHARPSBURG DRIVE  
 MADISON, WISCONSIN 53718

  
 O'DONNELL, KOTTKE  
 AND ASSOCIATES, INC.  
 1000 WESTBROOK DRIVE  
 MADISON, WISCONSIN 53717  
 FAX: 608-263-1000  
**C 102**

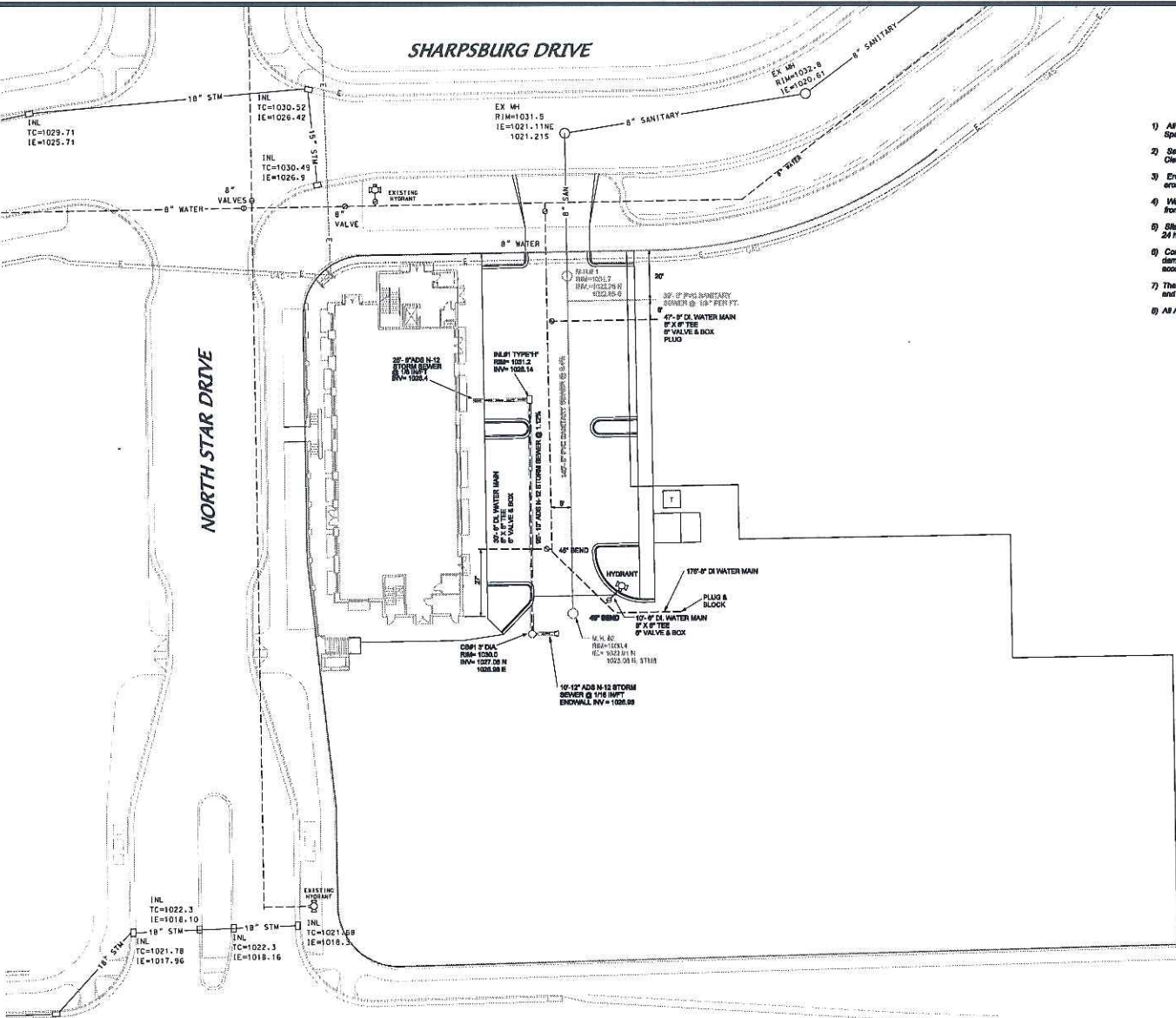
SHARPSBURG DRIVE

SITE UTILITY NOTES

- 1) All site utilities shall conform with the "City of Madison Standard Specifications" and all addendums issued prior to the contract bid date.
- 2) Sanitary sewer laterals shall be marked with a 4" x 4" hardwood post. Clearcuts shall be provided in accordance with Conn. 82.35.
- 3) Erosion control measures must be installed as shown on the grading and erosion control plan prior to any construction.
- 4) Water service shall be installed with a minimum of 6.5 feet of cover from finish grade.
- 5) Site Utility Contractor shall notify the City of Madison a minimum of 24 hours in prior to making connections to the water main, and storm sewer.
- 6) Contractor shall remove and replace any curb and gutter or pavement damaged during connection of the storm sewer to the existing inlet in full accordance with the City of Madison Standard Specifications.
- 7) The Contractor shall make himself familiar with existing utilities in the area and be responsible for their protection during construction.
- 8) All ADS storm sewer shall be installed with water tight joints.

LEGEND

○	PLACED IRON STAKE
—S—	SANITARY SEWER
—W—	WATER MAIN
—G—	GAS MAIN
—E—	UNDERGROUND ELECTRIC
—T—	UNDERGROUND TELEPHONE
—B—	STORM SEWER
□	ELECTRIC TRANSFORMER
○	MANHOLE
○	CATCH BASIN
○	POWER POLE
○	TELEPHONE PEDestal
○	HYDRANT
○	VALVE
○	BOX
—C—	EXISTING CONC. CURB
—G—	PROPOSED CURB & GUTTER
—S—	PROPOSED STORM SEWER
—W—	PROPOSED WATER SERVICE
—S—	PROPOSED SANITARY SEWER



COTTAGE GROVE ROAD (C.T.H. BB)



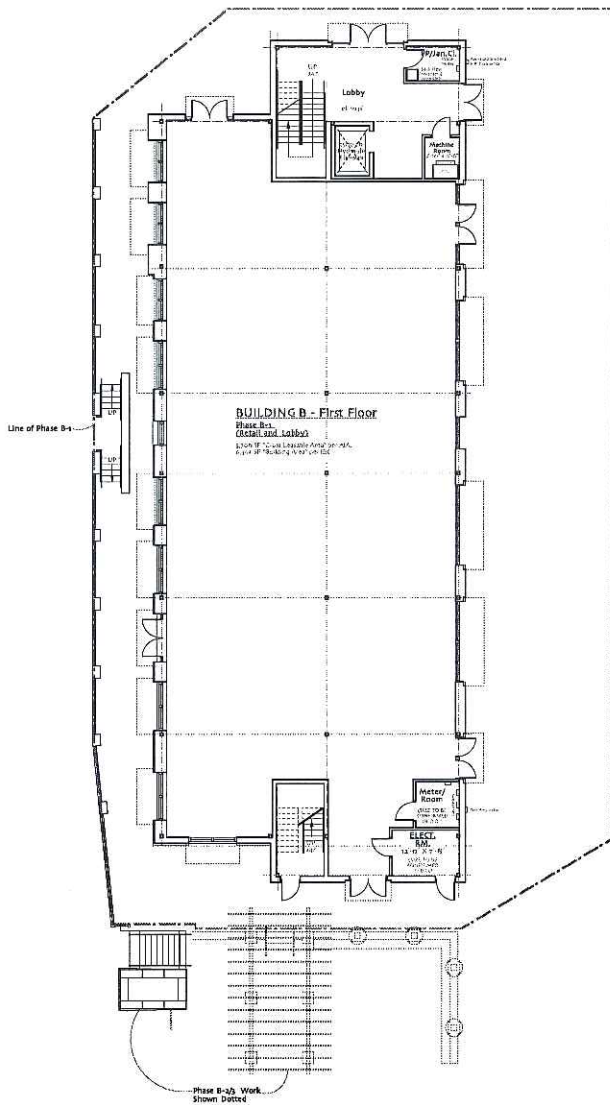
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 REY:  
 FN: 06-05-129

SITE UTILITY PLAN  
 GRANDVIEW COMMONS - BUILDING B-1

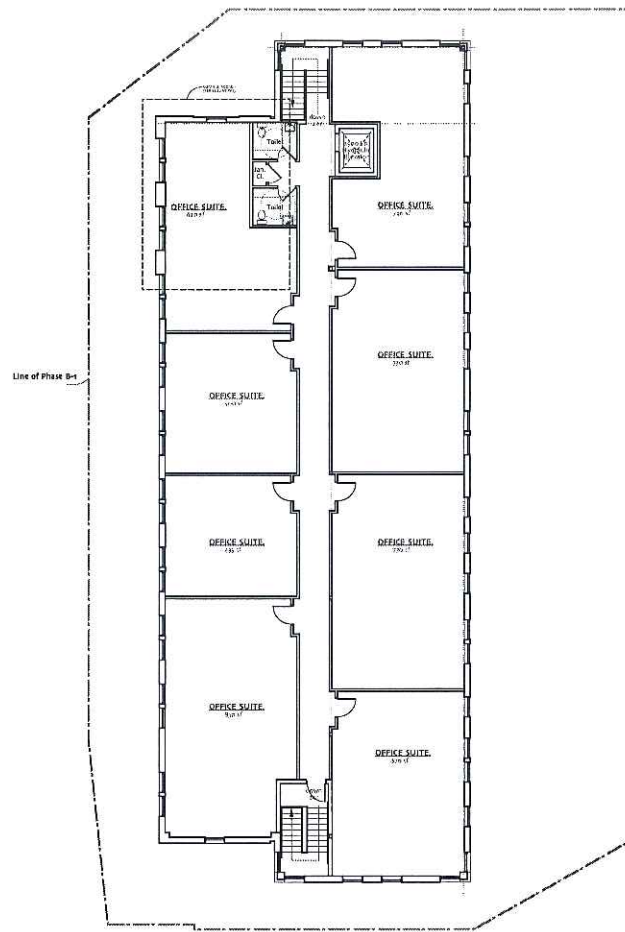
5901 SHARPSBURG DRIVE  
 MADISON, WISCONSIN 53718



C 103



**BUILDING B: Phase B-1 First Floor Plan**  
 NOTE: Landscape and site information not shown, see landscape and site plans for information.



**BUILDING B: Phase B-1 Second Floor Plan**  
 NOTE: Landscape and site information not shown, see landscape and site plans for information.  
 NOTE: Unit areas based on AIA standard (wall thickness included) stairs, mesh, shafts, and lobby not included.

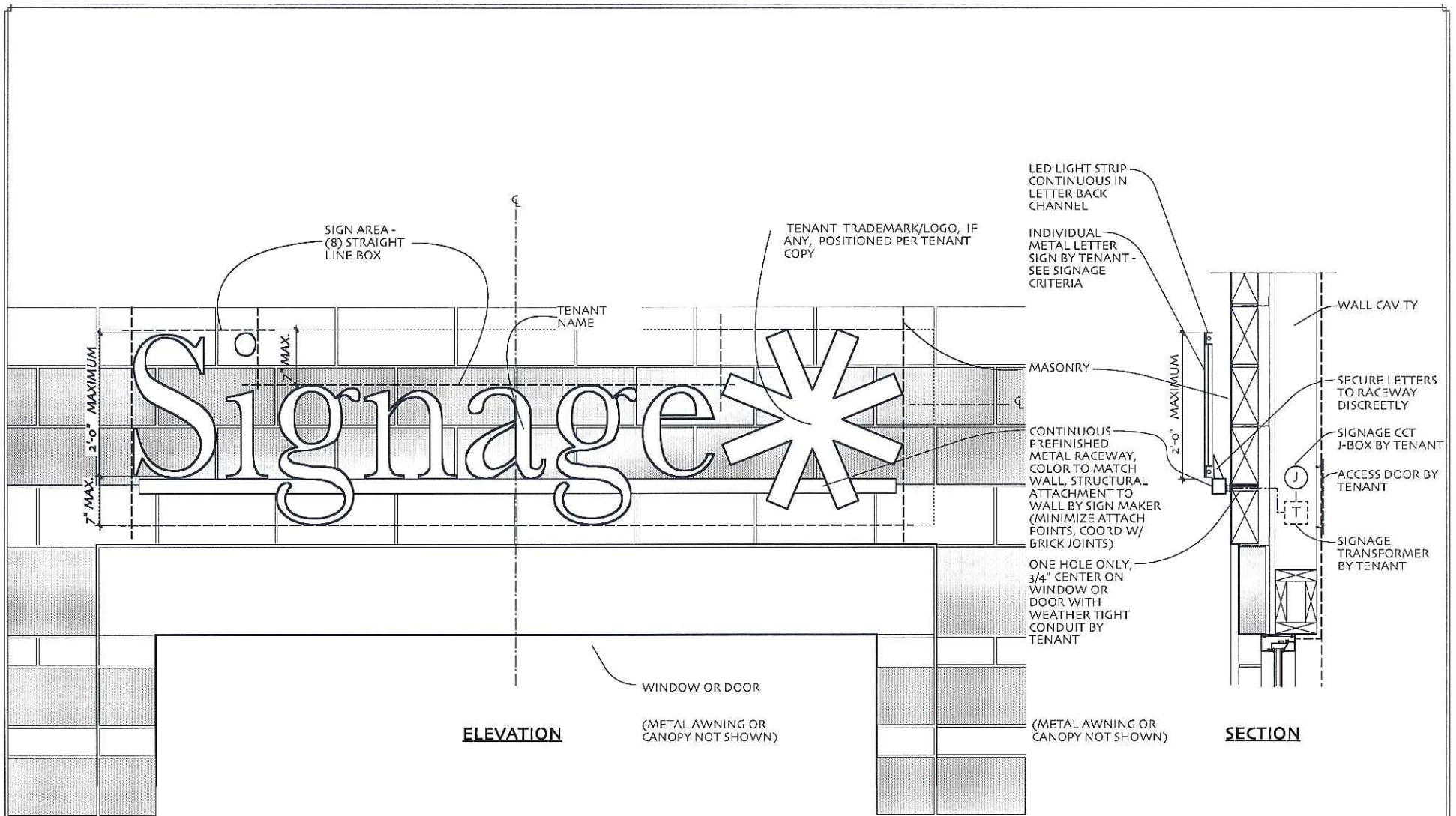
NOTE: THESE DRAWINGS REPRESENT SCHEMATIC INTENT ONLY. SYSTEMS ARE SUBJECT TO CHANGE TO COMPLY WITH LOCAL, STATE AND FEDERAL REQUIREMENTS AS WELL AS STRUCTURAL, MECHANICAL, ELECTRICAL, PLUMBING, FIRE PROTECTING, CIVIL, LANDSCAPE, ARCHITECTURAL REQUIREMENTS AND SYSTEM AVAILABILITY.

Great Neighborhoods, Inc.  
**GRANDVIEW COMMONS - BUILDING SITE B**  
 5901 Sharpburg Drive, Madison, Wisconsin, 53718

THE KUBALA WASHATKO ARCHITECTS, INC.  
 107146 MAY 9, 2024

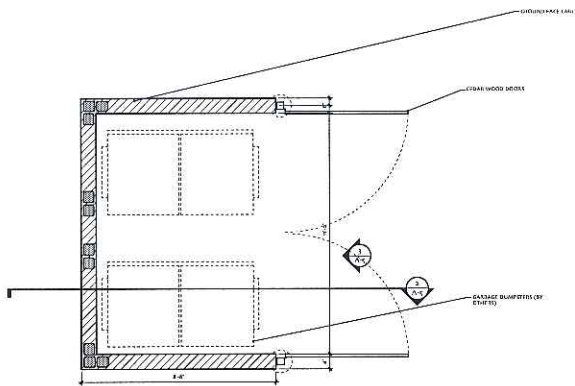




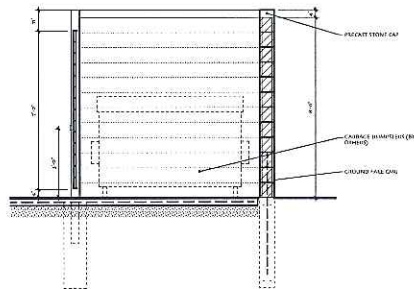


**BUILDING MOUNTED SIGN**  
SCALE 1" = 1'-0"

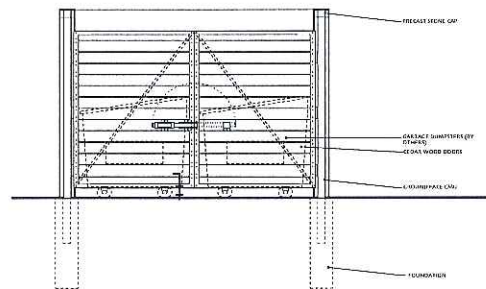




**1 TRASH ENCLOSURE PLAN**  
 SCALE: REF TO SCHEDULE  
 (SEE ARCHITECTURE PLANS FOR LOCATION OF TRASH ENCLOSURE)  
 1" = 4'-0"



**2 TRASH ENCLOSURE SECTION**  
 SCALE: REF TO SCHEDULE  
 1" = 4'-0"



**3 TRASH ENCLOSURE ELEVATION**  
 SCALE: REF TO SCHEDULE  
 1" = 4'-0"

NOTE: ALL STEEL TO BE GALVANNEED AND PAINTED UNLESS OTHERWISE NOTED. ALL WOOD TO BE CLEAR FINISH. ALL CHS TO HAVE GROUND FACED FINISH. METAL ROOF TO BE PRETREATED.

12/20/2010 10:00 AM

**SPECTRA™** Fixtures and Components

1.2 Fixture / Hood

4 Lamp Ballast

5 Colors

3 Lens Element

6 Optional Hood Finish

7 Options

Architectural Area Lighting

**AR**  
The Architects

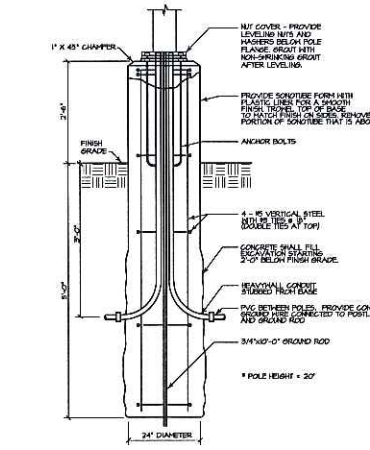
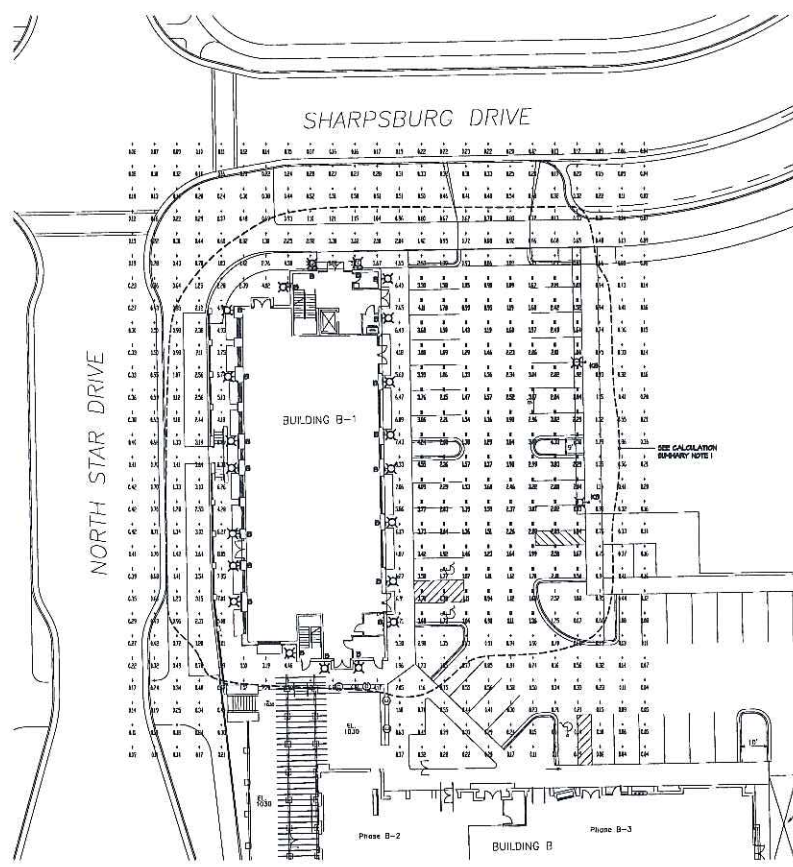
**NON LIGHTING**

Standard Features

Modeling

TABLE

Notes



**POLE BASE DETAIL - FIXTURE TYPE K3**  
SCALE: NONE

**SITE LIGHTING PLAN**  
SCALE: 1/32"

**FIXTURE SCHEDULE**

TYPE	SYMBOL	DESCRIPTION	LAMP	LAMP WATTAGE	LF/F	NOTES
K3	(Symbol)	NON LIGHTING ARCH-AREA LIGHTING	100 WATT	20000	0.75	1
B	(Symbol)	ARCH AREA LIGHTING	100 WATT	6640	0.75	2

1. FIXTURE MOUNTED ON 20' POLE
2. FEATURE WALL MOUNTED AT ELEVATION 1024.00

**CALCULATION SUMMARY:**

	Avg	MAX	MIN	MAXIMUM	AVERAGE	WATTAGE/F
PHASE 1 PARKING LOT	0.75	2.1%	4.8%	0.4%	5.1	2.4

1. DASHED LINE INDICATES POINT WHERE 0.5 HORIZONTAL FOOTCANDLES OCCURS AT 4 FEET ABOVE THE GROUND.

**ARNOLD AND O'SHERIDAN INC.**  
CONSULTING ENGINEERS  
STRUCTURAL • CIVIL • HVAC • PLUMBING  
ELECTRICAL • TECHNOLOGY

WISCONSIN LICENSE # 08021-4330  
ILLINOIS LICENSE # 013713-4130  
WWW.ARNOLDOANDOSHERIDAN.COM

**BUILDING B-1**  
5901 SHARPSBURG DRIVE  
MADISON, WI 53718

**GREAT NEIGHBORHOOD, INC.**

Sheet Title:  
**SITE LIGHTING PLAN**

Revisions:

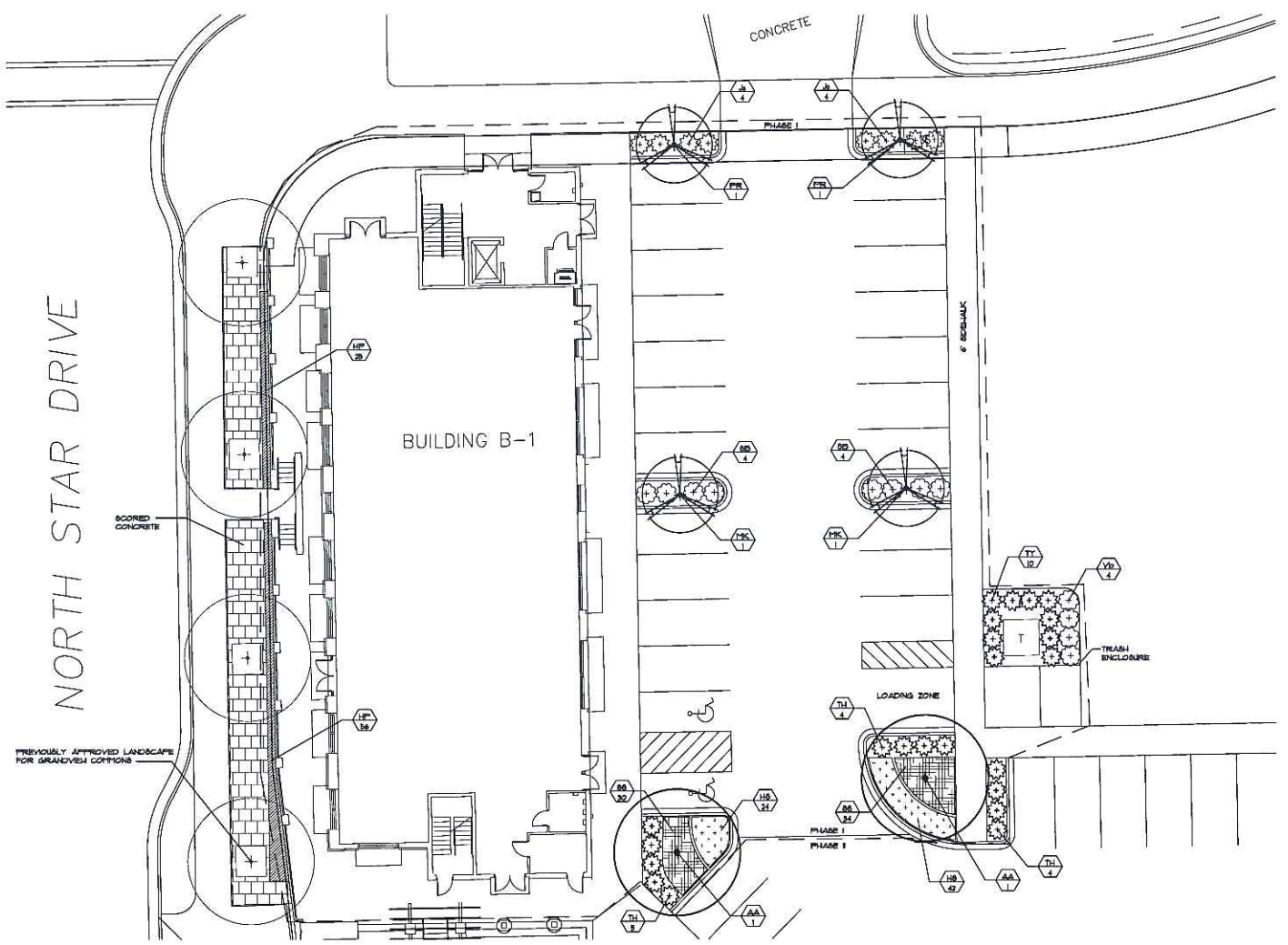
No.	Date	Description	By
1	05-09-08		ABC

Project Number: **060173**    Designed By: **DTM**  
Date Issued: **05-09-08**    Reviewed By:

Sheet Number:  
**E1**

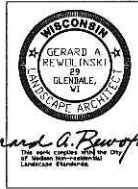


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 ARND, 11/18/07



**Building B-1 Plant List**

Key	Botanical Name	Common Name	QTY	Size	Root	Spacing
<b>Trees</b>						
AA	Acer x freemanii 'Armstrong'	Armstrong Maple	2	2-2.5' Cal.	B&B	as shown
MK	Malus 'Pink Spire'	Pink Spire Crab	2	1.75-2' Cal.	B&B	as shown
PR	Prunus coccinea 'Cleveland Select'	Cleveland Select Pear	2	2-2.5' Cal.	B&B	as shown
<b>Evergreens</b>						
JK	Juniperus chinensis 'Sargentii'	Sargent Juniper	8	24" spread	Container	48" o.c.
HW	Taxus x media 'Hicksii'	Hicks Yew	13	30" High	B&B	as shown
YJ	Thuja occidentalis 'Tockhy'	Tockhy Arborvitae	10	5' High	B&B	as shown
<b>Shrubs</b>						
SB	Spiraea x bumalda 'Anthony Water'	Anthony Water Spirea	8	18" High	Container	48" o.c.
VB	Viburnum dentatum 'Chislem'	Blue Mufin Viburnum	4	30" High	B&B	as shown
<b>Perennials/Grasses/Ground Covers</b>						
HP	Helleboron sibiricus	Blue Oat Grass	81	1 Gal.	Container	18" o.c.
HS	Hemerocallis 'Stella d'Oro'	Stella d'Oro Daylily	66	1 Gal.	Container	18" o.c.
SS	Schizachyrium scoparium	Little Bluestem	64	1 Gal.	Container	20" o.c.



*Gerard A. Revulinski*  
 The Great Company of Wisconsin  
 Landscape Architects



**ARNOLD AND O'SHERIDAN INC.**  
 CONSULTING ENGINEERS  
 STRUCTURAL ■ CIVIL ■ HVAC ■ PLUMBING  
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 MADISON, WISCONSIN 53703-4350  
 BROOKFIELD, WISCONSIN 53005-4350  
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**BUILDING B-1**  
 5901 SHARPSBURG DRIVE  
 MADISON, WI 53718  
 GREAT NEIGHBORHOOD, INC.

Sheet Title:  
**LANDSCAPE PLAN**

Revisions:

No.	Date	Description	By
1	05-08-08		ABC

Project Number: 080173	Designed By: GAR
Date Issued: 05-08-08	Reviewed By: GAR

Sheet Number:  
**LS1**

